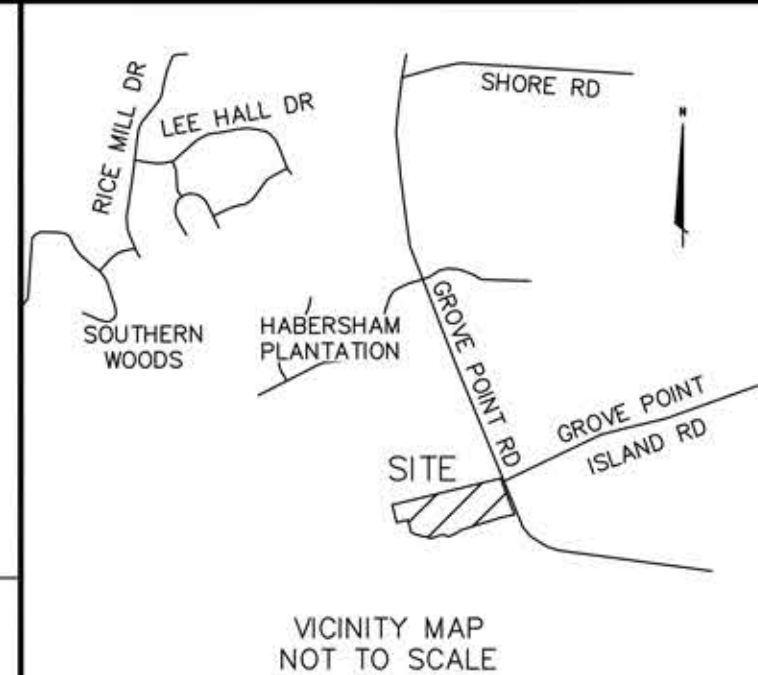


THIS BLOCK IS RESERVED FOR THE CLERK OF SUPERIOR COURT

VICINITY MAP NOT TO SCALE



- NOTES:**
- THIS SUBDIVISION CREATES 28 LOTS.
 - TOTAL AREA: 10.613 ACRES; 462,317 SQUARE FEET.
 - PARCEL IDENTIFICATION NUMBER: ---
 - THIS PROPERTY IS CURRENTLY ZONED R-A-CO.
 - LOTS TO BE SERVED BY CITY OF SAVANNAH WATER AND PRIVATE SANITARY SEWER SYSTEMS.
 - THE HORIZONTAL DATUM OF THIS PLAN IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83(12).
 - BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE AE, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBER 1305100255F, EFFECTIVE DATE: SEPTEMBER 26, 2008, BASE FLOOD ELEVATION: 13' & 12', NAVD 88.
 - ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
 - THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 - THERE SHALL BE A 5' MAINTENANCE AND ACCESS EASEMENT ALONG THE REAR OF LOTS 8-14 AS SHOWN.
 - GARAGE FLOOR ELEVATIONS SHALL BE DETERMINED BY THE HOMEOWNER AND BUILDER PRIOR TO CONSTRUCTION.
 - FINISHED FLOOR ELEVATIONS SHALL BE 1.0' ABOVE THE BASE FLOOD ELEVATION BASED ON THE CURRENT 100 YEAR FLOOD PLAIN MAPS AT THE TIME OF CONSTRUCTION.
 - ALL WETLANDS ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREA WITHOUT PROPER PERMIT APPLICATION & APPROVAL.
 - WETLANDS DELINEATED BY SLIGH ENVIRONMENTAL CONSULTANTS, INC ON APRIL 5, 2017 PER DEPARTMENT OF THE ARMY LETTER DATED JULY 7, 2017, PROJECT NUMBER SAS-2017-00267.
 - ALL STREETS, RIGHTS-OF-WAY, EASEMENTS, AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAN ARE HEREBY DEDICATED FOR THE USE INTENDED.
- LEGEND**
- Bench Mark
 - Building Setback Line
 - 1" Iron Pipe Set
 - Concrete Monument Found
 - Deed Book
 - Plat Record Book
 - Subdivision Map Book
 - Parcel Identification Number
 - Plat Book
 - Base Flood Elevation

EASEMENT CURVE TABLE

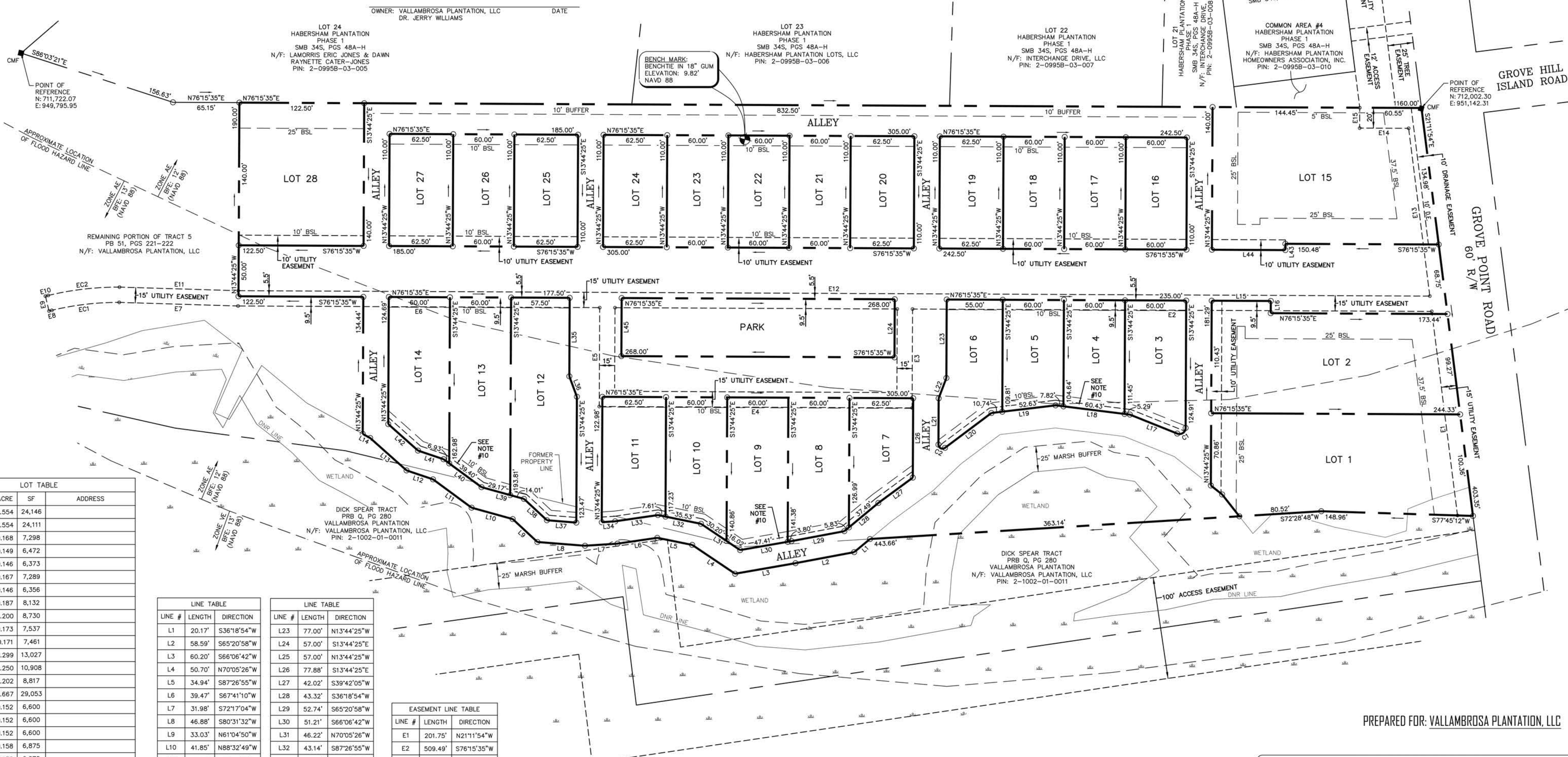
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
EC1	66.73'	278.50'	13°43'45"	33.53'	S69°18'23"W	66.57'
EC2	70.54'	293.50'	13°46'11"	35.44'	N69°19'36"E	70.37'

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	11.68'	6.00'	111°34'47"	8.83'	S42°02'58"W	9.92'
C2	8.87'	4.00'	127°07'29"	8.04'	N77°18'09"W	7.16'



COLEMAN COMPANY, INC.
 ENGINEERS - SURVEYORS
 17 PARK OF COMMERCE | SUITE 201
 SAVANNAH, GA 31405
 (912) 200-3041 | (F) 912 200-3056



LOT TABLE

LOT #	ACRE	SF	ADDRESS
1	0.554	24,146	
2	0.554	24,111	
3	0.168	7,298	
4	0.149	6,472	
5	0.146	6,373	
6	0.167	7,289	
7	0.146	6,356	
8	0.187	8,132	
9	0.200	8,730	
10	0.173	7,537	
11	0.171	7,461	
12	0.299	13,027	
13	0.250	10,908	
14	0.202	8,817	
15	0.667	29,053	
16	0.152	6,600	
17	0.152	6,600	
18	0.152	6,600	
19	0.158	6,875	
20	0.158	6,875	
21	0.152	6,600	
22	0.152	6,600	
23	0.152	6,600	
24	0.158	6,875	
25	0.158	6,875	
26	0.152	6,600	
27	0.158	6,875	
28	0.394	17,150	
TOTAL LOT	6.281	273,435	
PARK	0.351	15,276	
ALLEY & ROAD	3.981	173,606	
TOTAL AREA	10.613	462,317	

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	20.17'	S36°18'54"W
L2	58.59'	S65°20'58"W
L3	60.20'	S66°06'42"W
L4	50.70'	N70°05'26"W
L5	34.94'	S87°26'55"W
L6	39.47'	S67°41'10"W
L7	31.98'	S72°17'04"W
L8	46.88'	S80°31'32"W
L9	33.03'	N61°04'50"W
L10	41.85'	N88°32'49"W
L11	46.96'	N67°40'33"W
L12	27.46'	N85°20'53"W
L13	47.75'	N62°20'10"W
L14	8.36'	N75°05'12"W
L15	58.00'	N76°15'35"E
L16	12.00'	S13°44'25"E
L17	50.04'	N82°09'38"W
L18	73.55'	S83°05'06"W
L19	63.37'	S69°12'21"W
L20	56.98'	S39°08'06"W
L21	45.32'	N13°44'25"E
L22	21.36'	N6°48'57"E

EASEMENT LINE TABLE

LINE #	LENGTH	DIRECTION
E1	201.75'	N21°11'54"W
E2	509.49'	S76°15'35"W
E3	97.00'	S13°44'25"E
E4	307.00'	S76°15'35"W
E5	97.00'	N13°44'25"W
E6	354.94'	S76°15'35"W
E7	116.63'	S77°44'00"W
E8	2.85'	S62°26'31"W
E9	15.00'	N27°33'29"W
E10	2.85'	N82°26'31"E
E11	116.64'	N77°44'00"E
E12	1169.28'	N76°15'35"E
E13	165.90'	N21°11'54"W
E14	48.04'	S76°15'35"W
E15	20.00'	N13°44'25"W

SURVEY DATE: 6/27/2017
 EQUIPMENT USED: ELECTRONIC TOTAL STATION
 ANGULAR ERROR PER "1" = 04"
 ADJUSTED BY COMPASS RULE:
 PLAT ERROR OF CLOSURE: 1/274,021
 FIELD ERROR OF CLOSURE: 1/10,000+

BUILDING SETBACK REQUIREMENTS:
 *ALL SETBACKS ARE AS FOLLOWS UNLESS OTHERWISE NOTED ON THE INDIVIDUAL LOT.
 FRONT - 10' FROM PROPERTY LINE
 SIDE - 5' FROM PROPERTY LINE
 REAR - 10' FROM PROPERTY LINE
 (CORNER LOTS SHALL HAVE A 5' SIDE SETBACK WHERE ADJACENT TO RIGHT-OF-WAY/ALLEY)

REFERENCE:
 1. PLAT BOOK 51, PAGE 221.

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:
 APPROVED BY THE CHATHAM COUNTY DEPARTMENT OF PUBLIC HEALTH, DIVISION OF ENVIRONMENTAL HEALTH
 MIKE PITTS, DIRECTOR DATE _____
 APPROVED BY THE CITY ENGINEER, CITY OF SAVANNAH, GEORGIA
 JULIE McLEAN, P.E., CITY ENGINEER DATE _____
 APPROVED BY THE MAYOR AND ALDERMAN OF THE CITY OF SAVANNAH, GEORGIA
 DYANNE C. REESE, CLERK OF COUNCIL DATE _____
 APPROVED BY THE METROPOLITAN PLANNING COMMISSION
 INTERIM EXECUTIVE DIRECTOR DATE _____

SURVEYORS CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAN HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAN AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAN COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYING AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

PRELIMINARY

TERRY MACK COLEMAN
 GA REG. LAND SURVEYOR NO. 2486
 COLEMAN COMPANY, INC.
 CERTIFICATE OF AUTHORIZATION; LSF 1167

50' 25' 0' 50'
 GRAPHIC SCALE: 1"=50'

SAVANNAH GREY, PHASE 1
 A MAJOR SUBDIVISION OF PARCEL 5, BEING A RECOMBINATION OF SOUTH TRACT 1, SOUTH TRACT 2, TRACT 1 AND TRACT 2, VALLAMBROSA PLANTATION, 6.771 ACRES PORTION OF THE WILD HORN TRACT AND A PORTION OF THE DICK SPEAR TRACT, 8TH G.M. DISTRICT, CITY OF SAVANNAH, CHATHAM COUNTY GEORGIA

MAJOR SUBDIVISION

DATE: 2/19/2018
 SCALE: 1"=50'
 JOB #: 17-015.001
 DRAWN BY: JPA
 CHECKED BY:

SHEET 1/1